

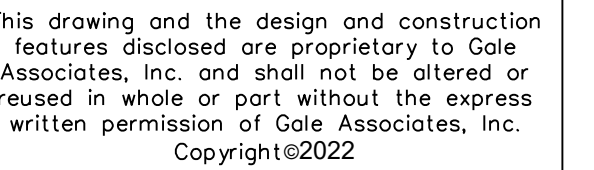
DAVID C. HINSON, SR.
MIDDLE SCHOOL
REPLACE GUTTERS AND
DOWNSPOUTS
VCS Project NO. 2247853

1860 N. CLYDE MORRIS BLVD.
DAYTONA BEACH, FL 32117

SCHOOL BOARD MEMBERS

CARMEN J. BALGOBIN

SUPERINTENDENT

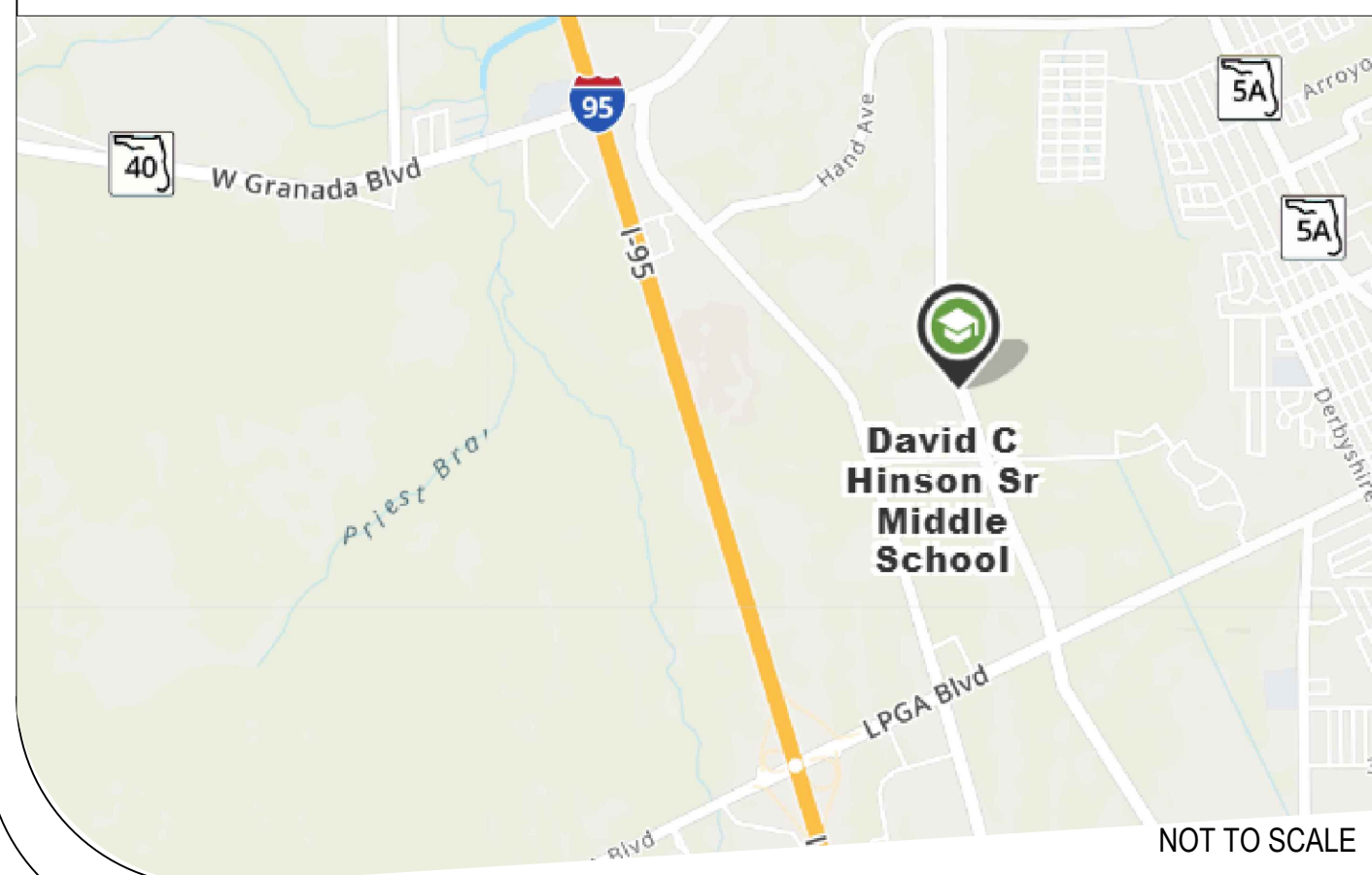


REPLACEMENT OF GUTTERS AND DOWNSPOUTS ON ROOFS THROUGHOUT THE CAMPUS

Architect's Statement of Compliance

To the best of my knowledge, these drawings and the project manual are complete and comply with the Florida Building Code.

A.	SURVEY PARCEL ID	N/A
B.	LEGAL DESCRIPTION	N/A
C.	OCCUPANCY TYPE	N/A
D.	CONSTRUCTION TYPE	N/A
E.	RISK CATEGORY	III
F.	AUTOMATIC SPRINKLER	N/A
G.	BUILDING AREA	203,800 SF
H.	BUILDING HEIGHT	15 FT (STEEP SLOPED ROOFS) 30 FT (FLAT ROOF)
I.	OCCUPANT LOAD	



ENGINEERS & CONSULTANTS



INDEX OF DRAWINGS

G001	COVER SHEET
G002	STANDARD LEGEND, SYMBOLS AND GENERAL NOTES
A101	ROOF PLAN BLDGS 1,2 AND 10
A102	ROOF PLAN BLDGS 3 AND 7
A103	ROOF PLAN BLDGS 4 AND 8
A104	ROOF PLAN BLDGS 5 AND 9
A105	ROOF PLAN BLDG 6
A501	DETAILS
A502	DETAILS
A503	DETAILS
A504	DETAILS

CONSTRUCTION DOCUMENTS 10/14/2022

REVISIONS

[illegible]

DAVID C. HINSON, SR. MIDDLE SCHOOL
GUTTER REPLACEMENT
VCS Project No. 2247853
1860 N. CLYDE MORRIS BLVD.
DAYTONA BEACH, FL 32117

WENGR OF RECORD

ENGR OF RECORD
ALAN S. CRAIGO, P.E.

DESIGNED BY
AEA/EM

DRAWN BY
FKL/EM

ISSUE DATE
10/14/2022

AE PROJECT NUMBER
678279

SHEET TITLE

COVER SHEET

DRAWING NO.

G001

GENERAL NOTES	
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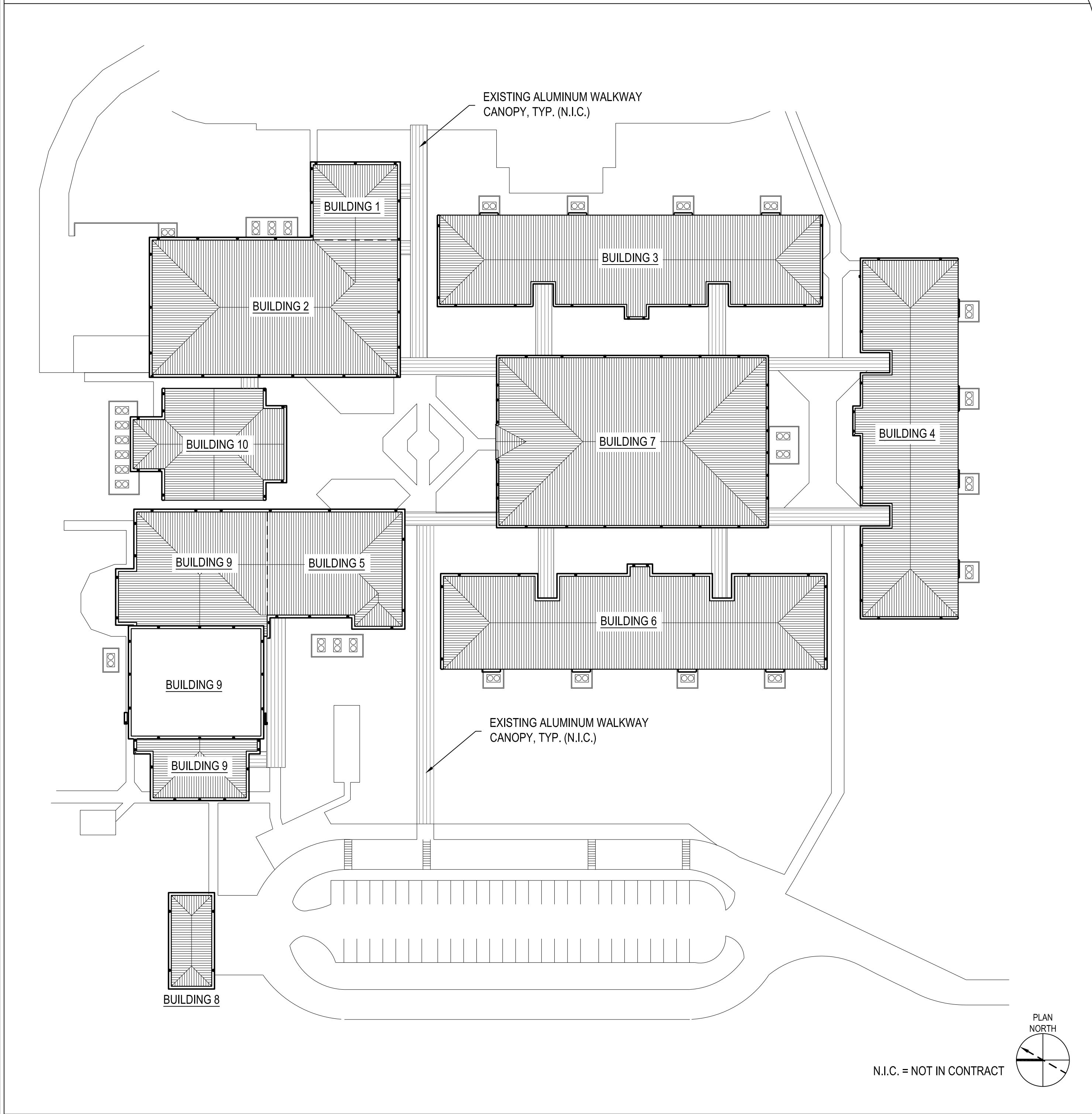
THE GENERAL SCOPE OF WORK FOR THIS PROJECT INCLUDES REPLACEMENT OF GUTTERS AND DOWNSPOUTS THROUGHOUT CAMPUS, AS INDICATED ON THE DRAWINGS.

1. THE INFORMATION SHOWN ON THE DRAWINGS HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND QUANTITIES PRIOR TO BID.
2. THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION. THE CONTRACTOR SHALL SCHEDULE AND EXECUTE WORK TO AVOID INTERRUPTIONS TO BUILDING OPERATIONS.
3. CONTRACTOR SETUP LOCATIONS SHALL BE AS INDICATED BY THE OWNER DURING THE PRE-CONSTRUCTION MEETING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COVERING ALL INTERIOR ITEMS THAT MIGHT BE AFFECTED BY THE WORK, INCLUDING FLOORS AND EQUIPMENT PRIOR TO DEMOLITION. ONCE REMOVAL IS COMPLETE FOR THE DAY, THE PLASTIC COVERINGS SHALL BE REMOVED AND THE INTERIOR AREAS CLEANED. CLEANING SHALL INCLUDE, BUT NOT BE LIMITED TO, SWEEPING OF FLOORS AND DUST REMOVAL FROM THE TOPS OF LIGHT FIXTURES AND EQUIPMENT WHERE ACCESSIBLE.
5. THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE ROOF DECK OR SUBSTRATE COMPONENTS TO THE OWNER PRIOR TO PERFORMING ROOFING INSTALLATION.
6. REMOVE AND DISPOSE OF EXISTING GUTTER AND DOWNSPOUT COMPONENTS, DOWN TO THE EXISTING SUBSTRATES AS INDICATED. EXISTING COMPONENTS NOT DESIGNATED FOR REMOVAL SHALL REMAIN IN PLACE AND SHALL BE PROTECTED FROM DAMAGE BY THE SUBSEQUENT WORK, DECK UNLESS OTHERWISE INDICATED ON THE DETAIL DRAWINGS. REMOVE AND DISPOSE OF ALL ITEMS TO INCLUDE GUTTERS, BRACKETS, STRAPS, DOWNSPOUTS, ASSOCIATED HARDWARE, ETC. SCHEDULED TO BE REMOVED. TEMPORARILY REMOVE ANY COMPONENT OR ASSEMBLY AS REQUIRED TO FACILITATE THE GUTTER AND DOWNSPOUT REPLACEMENT WORK, AND RESTORE TO ITS ORIGINAL AND WATERTIGHT CONDITION.
7. CORROSION TREAT AND PAINT (OR SEAL) ALL VACANT FASTENER HOLES IN EXISTING METAL ASSEMBLIES THAT ARE DESIGNATED TO REMAIN, AND THAT ARE AFFECTED BY THE SCOPE OF THIS WORK.
8. PROVIDE TEMPORARY OVERHEAD PROTECTION AT THE MAIN ENTRANCES TO BUILDINGS AND AT OTHER LOCATIONS AS NECESSARY TO PROVIDE UNINTERRUPTED AND SAFE ACCESS TO BUILDING.
9. REMOVALS SHALL BE PERFORMED IN ACCORDANCE WITH THE SUBMITTED AND APPROVED REMOVAL PLAN, THE DETAIL DRAWINGS AND SPECIFICATIONS.





2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLANS HAS NOT BEEN INDICATED. EXISTING AND NEW DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
2. COMPONENTS SHOWN ON THE DETAIL DRAWINGS SHALL BE NEW UNLESS SPECIFICALLY INDICATED AS EXISTING.
3. ITEMS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
4. FOR THE SAKE OF CLARITY, SECUREMENT FASTENERS ARE NOT SHOWN ON THE DRAWINGS IN THEIR ENTIRETY. REFER TO SPECIFICATIONS FOR FASTENER TYPES/SPACING.
5. ANY DISCREPANCIES ON THE DRAWINGS NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO BID SUBMISSION.
6. ITEMS OF CONSTRUCTION SHALL BE 100% WATERTIGHT ON THE SAME DAY OF WORK. PHASED CONSTRUCTION MUST BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.
7. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS. FIELD VERIFY ALL DIMENSIONS AND QUANTITIES.
8. IF THERE IS A POTENTIAL HAZARDOUS MATERIAL ENCOUNTERED DURING THE COURSE OF WORK THAT IS NOT IDENTIFIED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR WILL STOP WORK IMMEDIATELY AND CONTACT THE OWNER WHO IS TO MAKE A DETERMINATION IF THE MATERIAL IS HAZARDOUS.
9. ALL DUMPSTERS MUST BE AT LEAST 15 FEET FROM THE BUILDING UNLESS EMPTIED AT THE END OF EACH WORK DAY.
10. MATERIALS MAY NOT BE STORED CLOSER THAN 15 FEET FROM BUILDINGS AND MAY NOT BE PLACED IN FRONT OF EXITS OR ANY FIRE PROTECTION EQUIPMENT. REFUELING OF GASOLINE POWERED EQUIPMENT WILL NOT BE PERMITTED ON THE ROOF. GASOLINE MUST BE STORED IN UL LISTED AND APPROVED CONTAINERS.
11. METAL FABRICATION NOTES: FILE SMOOTH ALL EXPOSED SHARP EDGES. FABRICATE METAL TRANSITIONS AND TERMINATIONS IN ONE-PIECE CONSTRUCTION. LOCK AND SEAL OR SOLDER ALL JOINTS SOLID, AS SPECIFIED, TO MAKE WATERTIGHT.
12. SHEET METAL FABRICATION DETAILS HAVE BEEN PROVIDED TO REPRESENT TYPICAL CONDITIONS, THEY MAY NOT REPRESENT EVERY UNIQUE CONDITION REQUIRED TO COMPLETE THE WORK; HOWEVER, SUCH FABRICATIONS SHALL BE REQUIRED AS IF SHOWN ON THE DRAWINGS. CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS OF SUCH CONDITIONS TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO SHOP FABRICATION OR FIELD INSTALLATION.

1. TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLETE AND COMPLY WITH THE FLORIDA BUILDING CODE.
2. BUILDING CODE REFERENCE: FLORIDA BUILDING CODE, 7TH EDITION (2020).

OVERALL CAMPUS PLAN



STANDARD LEGEND AND SYMBOLS

	ROOF EDGE
	GUTTER WITH DOWNSPOUT
	GUTTER EXPANSION JOINT
	EXPANSION JOINT

DETAIL INDICATOR

SECTION INDICATOR

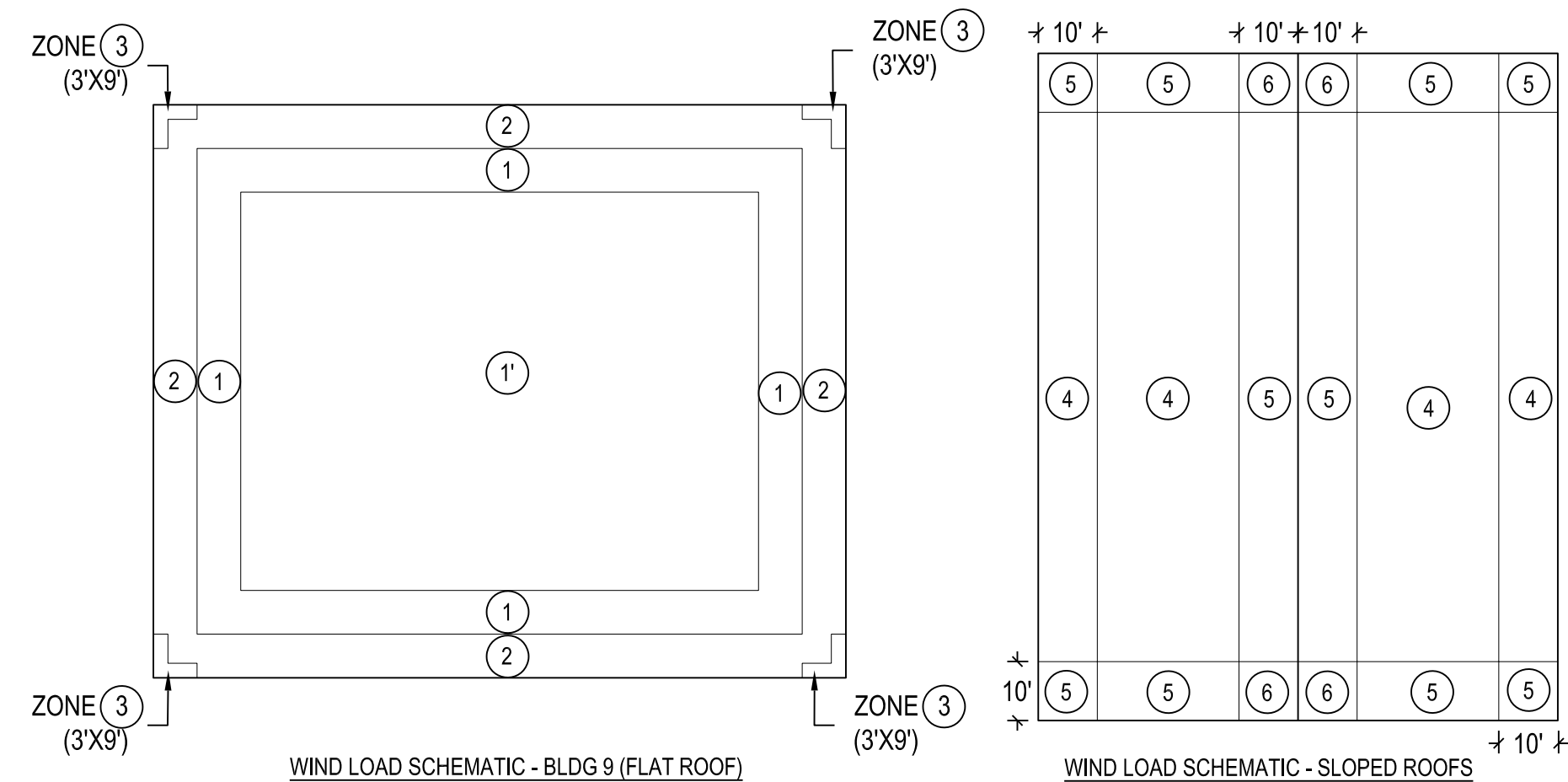
ROOF AREA SUMMARY	
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<u>BLDG. #</u>	<u>ROOF SQUARE FOOTAGE</u>	<u>GUTTER LINEAR FOOTAGE</u>
1	5,000 SF.	220 LF.
2	26,500 SF.	590 LF.
3	26,500 SF.	500 LF.
4	27,500 SF.	500 LF.
5	12,000 SF.	350 LF.
6	27,500 SF.	500 LF.
7	35,500 SF.	770 LF.
8	3,100 SF.	250 LF.
9	28,700 SF.	670 LF.
10	11,500 SF.	100 LF.
TOTAL	203,800 SF.	4,450 LF.

NOTE: QUANTITIES ARE PROVIDED TO ASSIST BIDDERS IN ESTABLISHING THE PROJECT SCOPE. FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND QUANTITIES PRIOR TO SUBMITTING A BID FOR THIS PROJECT.

WIND DESIGN INFORMATION	
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SPECIFIED PER FLORIDA BUILDING CODE (2020) CH. 16 AND IN ACCORDANCE WITH ASCE 7-16		
ULTIMATE DESIGN WIND SPEED		155 MPH
NOMINAL DESIGN WIND SPEED		120 MPH
BUILDING RISK CATEGORY		III
WIND EXPOSURE		EXPOSURE C
INTERNAL PRESSURE COEFFICIENT		0.18 (ENCLOSED)
BUILDING HEIGHT (MEAN)		LOW ROOF (15') HIGH ROOF (30')
DESIGN WIND LOAD PRESSURES (BASED ON NOM. WIND SPEED)		
ZONE 1'	(1)	-36.3
ZONE 1	(1)	-60.9
ZONE 2	(2)	-79.3
ZONE 3	(3)	-103.9
ZONE 4	(4)	-58.1
ZONE 5	(5)	-84.8
ZONE 6	(6)	-100.8



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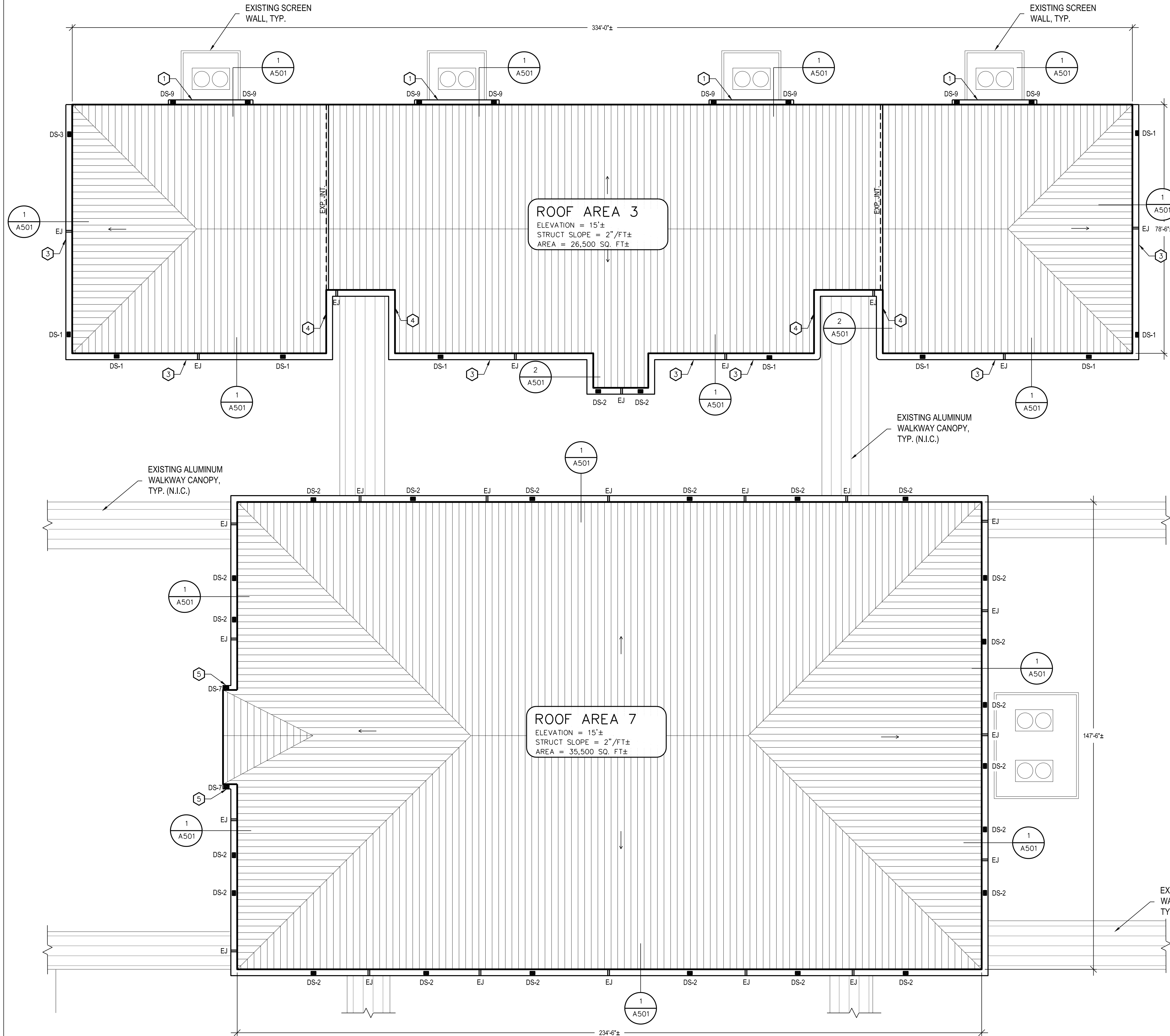
DESIGNED BY AEA/EM	DRAWN BY FKL/EM
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SHEET TITLE

STANDARD LEGEND,
SYMBOLS AND GENERAL
NOTES

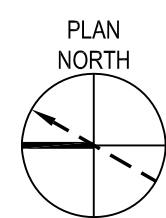
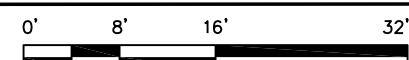
DRAWING NO.

G002



ROOF PLAN BLDGS 3 AND 7

SCALE: 1/16" = 1'-0"



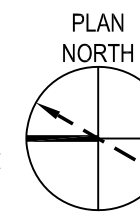
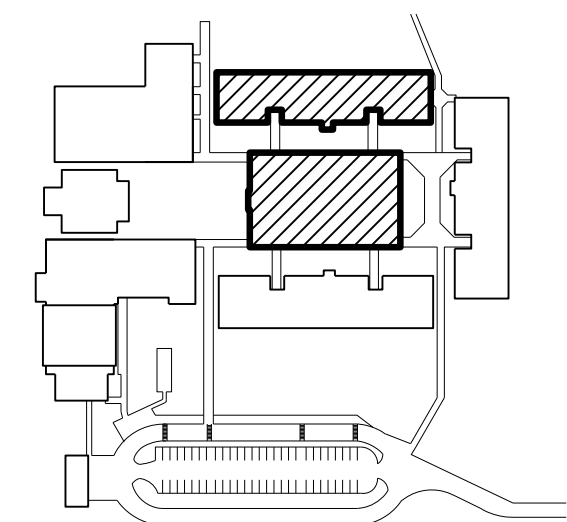
GUTTER REPLACEMENT NOTES

1. REMOVE AND REPLACE ALL GUTTERS AND DOWNSPOUTS AS INDICATED. REFER TO DOWNSPOUT SCHEDULE, DETAIL 3/A503, FOR TYP. DOWNSPOUT PROFILES (DS - #).
2. FABRICATE BOTTOM SECTIONS OF DOWNSPOUTS OUT OF EXTRUDED ALUMINUM AS SPECIFIED, ALL LOCATIONS UNLESS OTHERWISE INDICATED (DOWNSPOUTS THAT DO NOT DEPOSIT DIRECTLY TO GRADE ARE NOT REQUIRED TO BE FABRICATED FROM EXTRUDED METAL, BUT MAY BE FABRICATED FROM SHEET METAL AS SPECIFIED). DOWNSPOUTS IDENTIFIED WITH AN "X" (DS - # (X)) ARE LOCATIONS WHERE EXISTING DOWNSPOUTS ARE ALREADY OUTFITTED WITH EXTRUDED ALUMINUM DOWNSPOUTS. EXISTING EXTRUDED ALUMINUM DOWNSPOUT SECTIONS MAY BE CLEANED, ADJUSTED AND RE-USED IF IN GOOD CONDITION. REFER TO SPECIFICATION SECTION 012200 - UNIT PRICES FOR ADDITIONAL INFORMATION.
3. PROTECT EXISTING GALVALUME METAL ROOFING, WALL SYSTEMS AND ASSOCIATED TRIM FROM DAMAGE DURING THE COURSE OF GUTTER AND DOWNSPOUT REPLACEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING ROOFING AND WALL SYSTEMS.

KEY NOTES

1. WHERE GUTTER IS INSTALLED ABOVE OUTDOOR EQUIPMENT YARD, EXTEND GUTTER MIN. 4-FEET BEYOND THE EXISTING SCREEN WALL ON BOTH SIDES TO AVOID DEPOSITING RUNOFF INSIDE THE EQUIPMENT YARD AREA. PROVIDE A ONE-PIECE GUTTER AT EACH LOCATION (NO JOINTS/SEAMS IN LENGTH OF GUTTER) AND A. INSTALL NEW DOWNSPOUT AT EACH END AS SHOWN. PLACE SPLASH BLOCK AT GRADE BENEATH EACH DOWNSPOUT. PLACE SO AS TO NOT INTERFERE WITH EGRESS TO EQUIPMENT YARD. REFER TO DOWNSPOUT SCHEDULE, DETAIL 3/A502 FOR TYP. DOWNSPOUT PROFILE AT THIS CONDITION.
2. REMOVE EXISTING DOWNSPOUT THAT PENETRATES THROUGH EXISTING ALUMINUM WALKWAY CANOPY, CAP PENETRATION THROUGH CANOPY AND REPAIR EXISTING DOWNSPOUT SUB-GRADE RECEPTACLE LOCATION AT CONCRETE WALKWAY BELOW. RE-ROUTE NEW DOWNSPOUT TO DEPOSIT RUNOFF DIRECTLY ONTO THE EXISTING ALUMINUM WALKWAY CANOPY AS INDICATED. REFER TO DETAIL 1/A503.
3. AVOID INSTALLING ANY GUTTER SEAM OR JOINT WITHIN 2-FEET (TYP.) OF INTERSECTING WALKWAYS (SIDEWALKS), ENTRANCES, DOORWAYS, ETC. LOCATIONS IDENTIFIED ON THESE PLANS MAY BE REPRESENTATIVE. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS.
4. WHERE GUTTERS ARE TO BE INSTALLED ALONG SLOPED RAKE EDGES, INSTALL NEW GALVALUME RAKE TRIM FLASHINGS AS INDICATED. SEE DETAIL 1/A504.
5. WHERE INDICATED, EXTEND DOWNSPOUT DOWN FROM FASCIA PANELS BACK ONTO ADJACENT BRICK MASONRY COLUMN AS INDICATED. REFER TO DOWNSPOUT SCHEDULE, DETAIL 3/A502 FOR TYP. DOWNSPOUT PROFILE AT THIS CONDITION. PROVIDE AT LEAST ONE (1) MOCK-UP OF THIS REPRESENTATIVE CONDITION FOR REVIEW BY ENGINEER OF RECORD PRIOR TO INSTALLING DOWNSPOUTS AT SIMILAR CONDITIONS.
6. WHERE DOWNSPOUTS DEPOSIT RUNOFF TO LOWER SLOPED METAL ROOFING, FABRICATE BOTTOM OF DOWNSPOUT SO OUTLET DISCHARGES PARALLEL TO ROOF SLOPE (NOT PERPENDICULAR TO ROOF PANELS). REFER TO DOWNSPOUT SCHEDULE, DETAIL 3/A502 FOR TYP. DOWNSPOUT PROFILE AT THIS CONDITION.
7. PROVIDE A SHORT LENGTH OF GUTTER AT EDGE OF EXISTING ALUMINUM WALKWAY CANOPY AS INDICATED TO COLLECT DRAINAGE FROM DOWNSPOUT ABOVE. NEW GUTTER SHALL COLLECT AND DEPOSIT RUNOFF TO DOWNSPOUT BELOW (WHERE ATTACHED TO EXISTING SUB-GRADE DRAINAGE SYSTEM), REFER TO DETAIL 2/A502.

CAMPUS KEY PLAN



Gale Associates, Inc.
Engineers Architects Planners

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Altamonte Springs, FL 32714
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Gale Associates (South), Inc. FL CA Lic. No: 6114

Boston Baltimore Orlando Hartford

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REVISIONS

DOCUMENT HISTORY

DESCRIPTION

NO. DATE

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GUTTER REPLACEMENT
VCS Project No. 2247853

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DAYTONA BEACH, FL 32117

ENGR OF RECORD
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DRAWN BY
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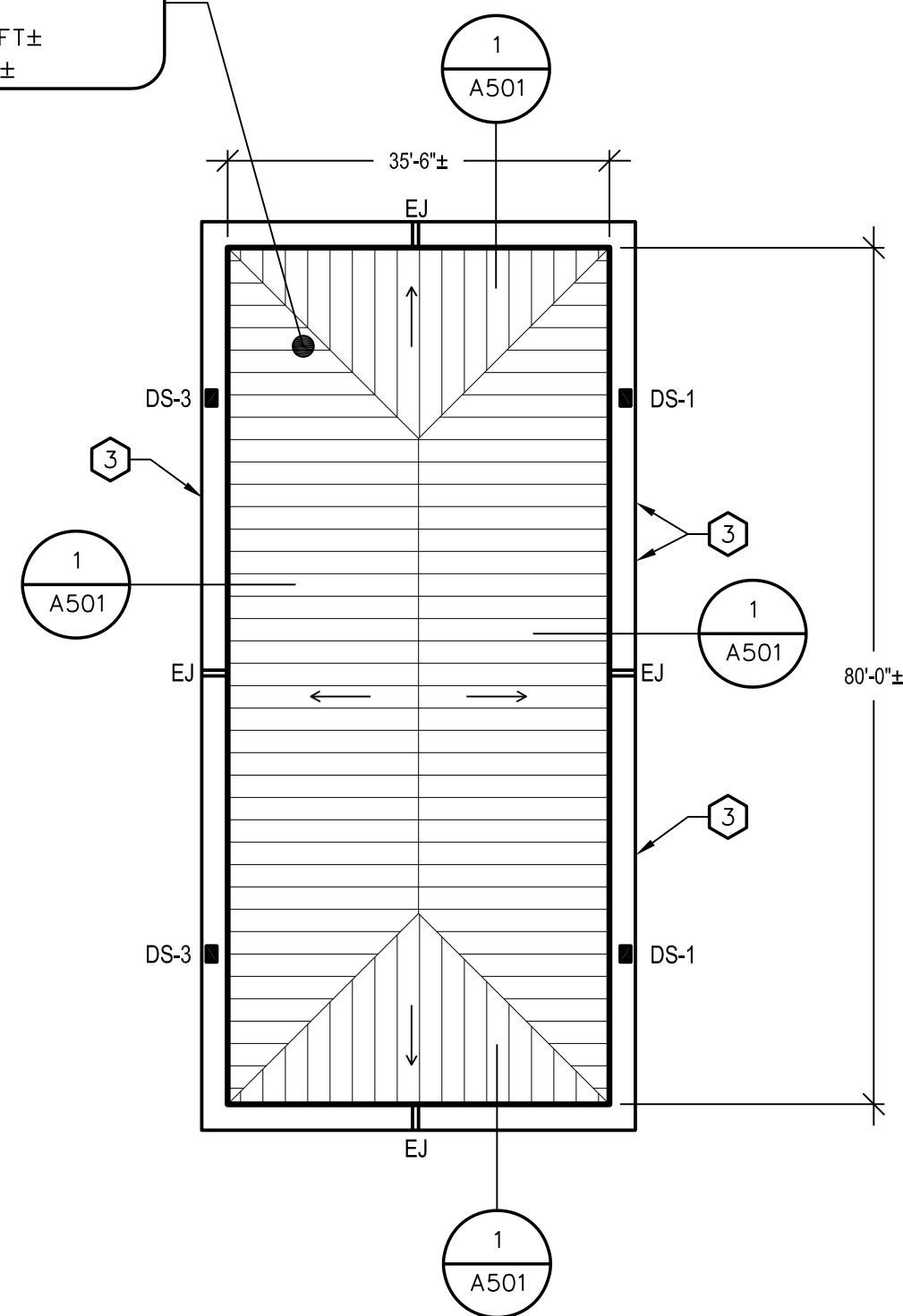
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ROOF PLAN
BLDGS 3 AND 7

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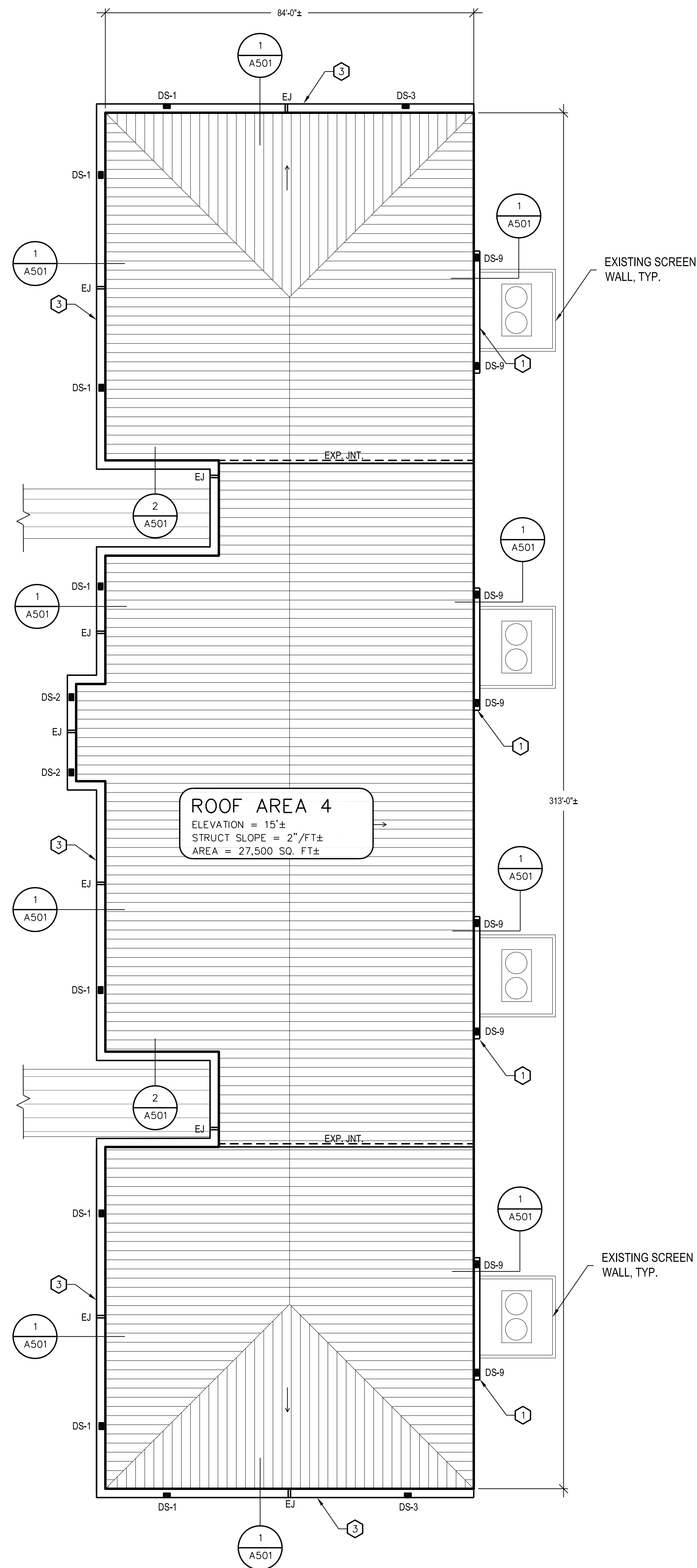
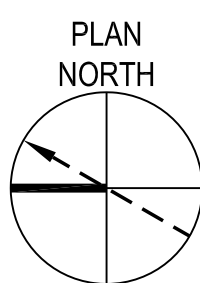
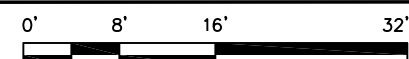
A102

ROOF AREA 8
ELEVATION = 15'±
STRUCT SLOPE = 2"/FT±
AREA = 3,100 SQ. FT±



ROOF PLAN BLDGS 4 AND 8

SCALE: 1/16" = 1'-0"



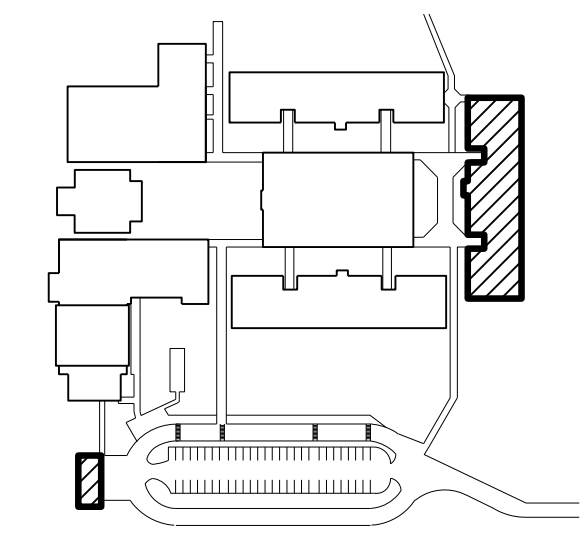
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KEY NOTES

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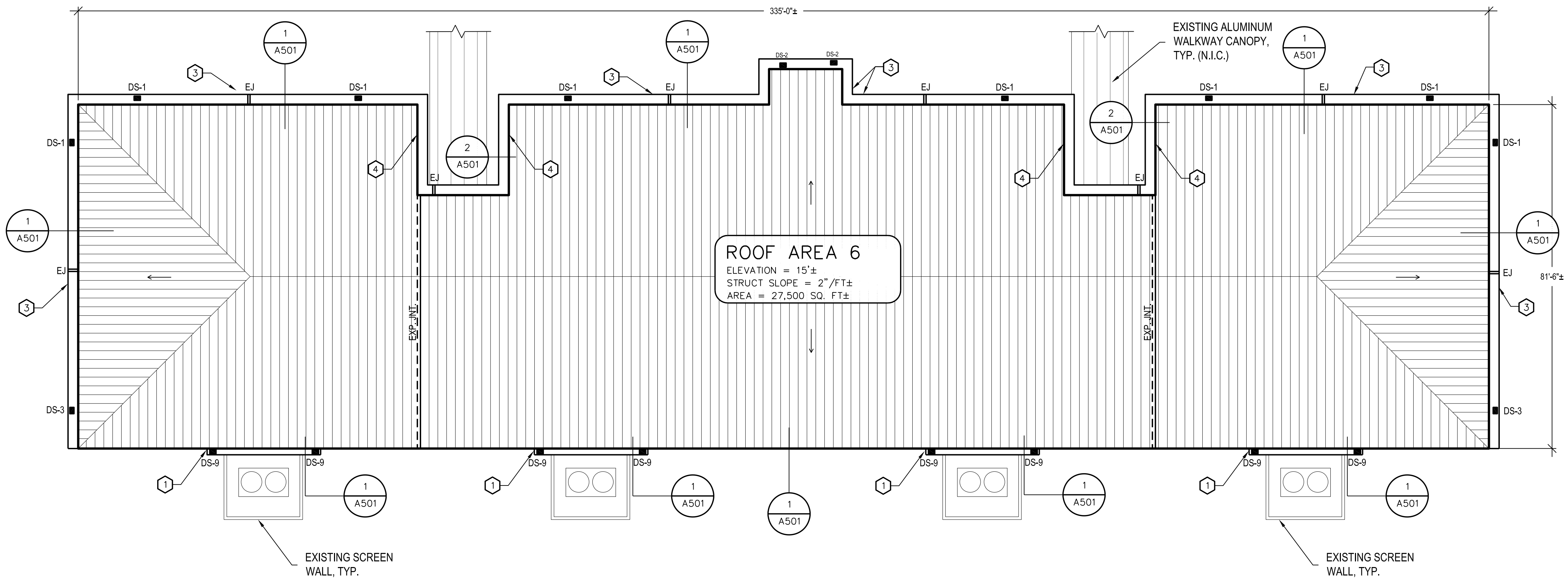
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BLDGS 4 AND 8

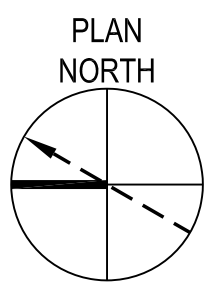
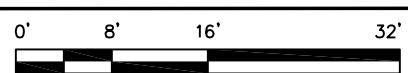
DRAWING NO.

A103



ROOF PLAN BLDG 6

SCALE: 1/16" = 1'-0"



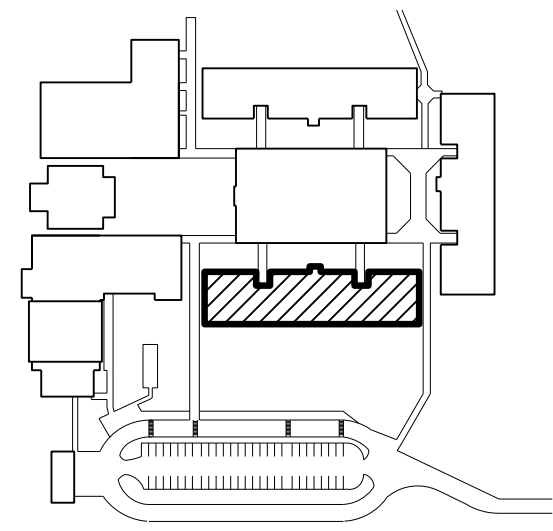
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KEY NOTES

1. WHERE GUTTER IS INSTALLED ABOVE OUTDOOR EQUIPMENT YARD, EXTEND GUTTER MIN. 4-FEET BEYOND THE EXISTING SCREEN WALL ON BOTH SIDES TO AVOID DEPOSITING RUNOFF INSIDE THE EQUIPMENT YARD AREA. PROVIDE A ONE-PIECE GUTTER AT EACH LOCATION (NO JOINTS/SEAMS IN LENGTH OF GUTTER) AND A. INSTALL NEW DOWNSPOUT AT EACH END AS SHOWN. PLACE SPLASH BLOCK AT GRADE BENEATH EACH DOWNSPOUT. PLACE SO AS TO NOT INTERFERE WITH EGRESS TO EQUIPMENT YARD. REFER TO DOWNSPOUT SCHEDULE, DETAIL 3/A502 FOR TYP. DOWNSPOUT PROFILE AT THIS CONDITION.
2. REMOVE EXISTING DOWNSPOUT THAT PENETRATES THROUGH EXISTING ALUMINUM WALKWAY CANOPY, CAP PENETRATION THROUGH CANOPY AND REPAIR EXISTING DOWNSPOUT SUB-GRADE RECEPTACLE LOCATION AT CONCRETE WALKWAY BELOW. RE-ROUTE NEW DOWNSPOUT TO DEPOSIT RUNOFF DIRECTLY ONTO THE EXISTING ALUMINUM WALKWAY CANOPY AS INDICATED. REFER TO DETAIL 1/A503.
3. AVOID INSTALLING ANY GUTTER SEAM OR JOINT WITHIN 2-FEET (TYP.) OF INTERSECTING WALKWAYS (SIDEWALKS), ENTRANCES, DOORWAYS, ETC. LOCATIONS IDENTIFIED ON THESE PLANS MAY BE REPRESENTATIVE. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS.
4. WHERE GUTTERS ARE TO BE INSTALLED ALONG SLOPED RAKE EDGES, INSTALL NEW GALVALUME RAKE TRIM FLASHINGS AS INDICATED. SEE DETAIL 1/A504.
5. WHERE INDICATED, EXTEND DOWNSPOUT DOWN FROM FASCIA PANELS BACK ONTO ADJACENT BRICK MASONRY COLUMN AS INDICATED. REFER TO DOWNSPOUT SCHEDULE, DETAIL 3/A502 FOR TYP. DOWNSPOUT PROFILE AT THIS CONDITION. PROVIDE AT LEAST ONE (1) MOCK-UP OF THIS REPRESENTATIVE CONDITION FOR REVIEW BY ENGINEER OF RECORD PRIOR TO INSTALLING DOWNSPOUTS AT SIMILAR CONDITIONS.
6. WHERE DOWNSPOUTS DEPOSIT RUNOFF TO LOWER SLOPED METAL ROOFING, FABRICATE BOTTOM OF DOWNSPOUT SO OUTLET DISCHARGES PARALLEL TO ROOF SLOPE (NOT PERPENDICULAR TO ROOF PANELS). REFER TO DOWNSPOUT SCHEDULE, DETAIL 3/A502 FOR TYP. DOWNSPOUT PROFILE AT THIS CONDITION.
7. PROVIDE A SHORT LENGTH OF GUTTER AT EDGE OF EXISTING ALUMINUM WALKWAY CANOPY AS INDICATED TO COLLECT DRAINAGE FROM DOWNSPOUT ABOVE. NEW GUTTER SHALL COLLECT AND DEPOSIT RUNOFF TO DOWNSPOUT BELOW (WHERE ATTACHED TO EXISTING SUB-GRADE DRAIANGE SYSTEM). REFER TO DETAIL 2/A502.

CAMPUS KEY PLAN



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REVISIONS

DOCUMENT HISTORY

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GUTTER REPLACEMENT
VCS Project No. 2247853

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DAYTONA BEACH, FL 32117

ENGR OF RECORD
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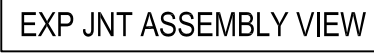
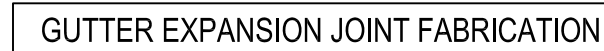
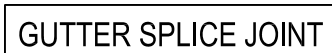
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NOTE: LOCATE GUTTER EXPANSION JOINTS AT 40-FT MAXIMUM SPACING.



